

City of Fayetteville Staff Review Form

2014-0451

Legistar File ID

11/6/2014

City Council Meeting Date - Agenda Item Only
N/A for Non-Agenda Item

Jeremy Pate

10/14/2014

City Planning /
Development Services Department

Submitted By

Submitted Date

Division / Department

Action Recommendation:

PPL 14-4790: Preliminary Plat (Collector Street Master Plan Amendment/PARKERMAN ESTATES, 257): Submitted by BLEW & ASSOCIATES for property located at OAKLAND ZION RD. The property is in the FAYETTEVILLE PLANNING AREA and contains approximately 16.70 acres. The request is to AMEND the Master Street Plan to remove a Collector street between Oakland-Zion Road and Altus Drive.

Budget Impact:

Account Number	Fund
Project Number	Project Title
Budgeted Item? <u>NA</u>	Current Budget \$ -
	Funds Obligated \$ -
	Current Balance \$ -
Does item have a cost? <u>No</u>	Item Cost
Budget Adjustment Attached? <u>NA</u>	Budget Adjustment
	Remaining Budget \$ -

V20140710

Previous Ordinance or Resolution # _____

Original Contract Number: _____

Approval Date: _____

Comments:



CITY COUNCIL AGENDA MEMO

MEETING OF NOVEMBER 6, 2014

TO: Fayetteville City Council

THRU: Andrew Garner, Planning Director

FROM: Quin Thompson, Current Planner

DATE: October 14, 2014

SUBJECT: **PPL 14-4790: Preliminary Plat (Collector Street Master Plan Amendment/PARKERMAN ESTATES, 257):** Submitted by BLEW & ASSOCIATES for property located at OAKLAND ZION RD. The property is in the FAYETTEVILLE PLANNING AREA and contains approximately 16.70 acres. The request is to AMEND the Master Street Plan to remove a Collector street between Oakland-Zion Road and Altus Drive.

RECOMMENDATION:

The Planning Commission recommended approval and City Planning Staff recommend denial of a resolution to remove a portion of future collector street between Oakland-Zion Road and Altus Drive from the Master Street Plan.

BACKGROUND:

The subject property is located east of Oakland-Zion Road and contains approximately 16.70 acres within unincorporated Washington County. The property is outside of the Fayetteville City Limit, but within the one-mile planning area boundary, and therefore must meet all development requirements of the Unified Development Code. The applicant proposes a preliminary plat with 8 residential lots and individual septic systems.

A proposed Master Street Plan (MSP) connection crosses this property, requiring that a 'Collector' street be constructed when this property is developed. This proposed connection would provide future east-west connectivity between future neighborhoods as this area develops as expected in the future. A designated Collector Street is required to be built with 59' of right-of-way, and a street section of 30', including sidewalk on two sides, curb and gutter, storm drains, and street lights in accordance with the MSP street section. The 30' section includes 2 10' travel lanes and either bike lanes or parallel parking depending on the desired usage. This section can also allow turn lanes in the future without widening the street. The primary new street in the subdivision is proposed as a Local Street, instead of a Collector Street. A Local Street has a 50' right-of-way with 2 travel lanes and permitted on-street parking on one side. Bicycle usage is required to be with the flow of traffic in this section. A copy of the Collector and Local Street cross sections is attached.

MASTER STREET PLAN AMENDMENT:

The applicant proposes an amendment to the Master Street Plan removing the section between Oakland-Zion Road and Altus Drive from the Master Street Plan in order to build a Local street where a Collector street is required.

DISCUSSION:

On October 13, 2014 the Planning Commission voted on this item with a recommendation for denial with a vote of 7-1-0. (Commissioner Cook voted 'No'.) Staff recommends denial of the request finding that an east-west Collector Street in this area is needed to collect and distribute traffic from surrounding undeveloped areas between Gulley Road, Altus Drive, and Oakland-Zion Road.

BUDGET/STAFF IMPACT:

N/A

Attachments:

CC Resolution

Aerial imagery: Master Street Plan connections

Exhibit 'A'

Planning Commission Staff Report



THIS SECTION OF FUTURE 'COLLECTOR' STREET WOULD BE REMOVED FROM THE MASTER STREET PLAN

PROPOSED PARKERMAN DOWNS (LOCAL STREET)

THIS SECTION WOULD REMAIN

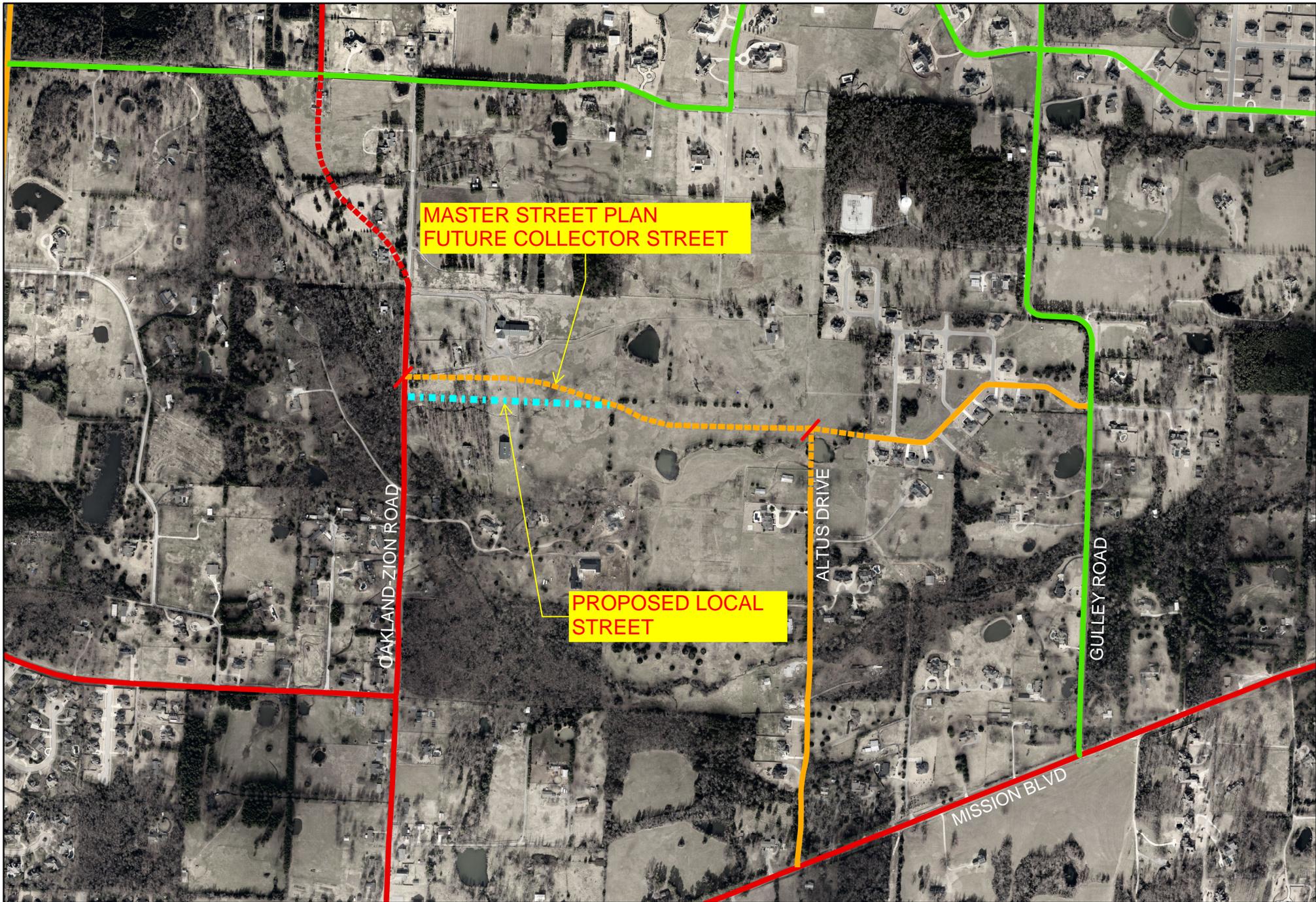
OAKLAND-ZION ROAD

ALTUS DRIVE

EXHIBIT 'A'
PPL 14-4790



370 185 0 370 Feet



MASTER STREET PLAN
FUTURE COLLECTOR STREET

PROPOSED LOCAL
STREET

OAKLAND-ZION ROAD

ALTUS DRIVE

GULLEY ROAD

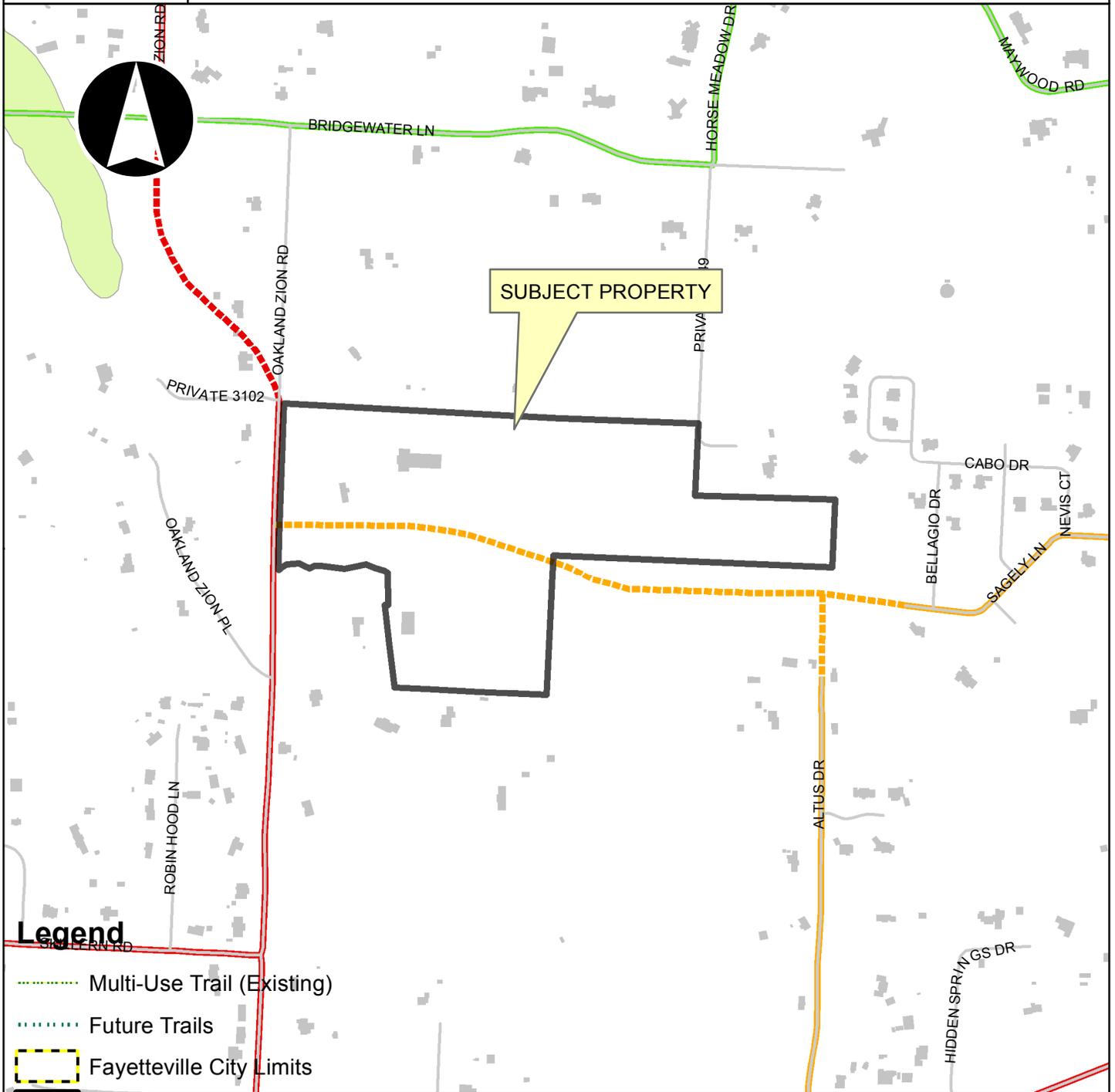
MISSION BLVD



PPL14-4790

PARKERMAN ESTATES

Close Up View



Legend

Multi-Use Trail (Existing)

Future Trails

Fayetteville City Limits

Overview PPL14-4790

Footprints 2010

Hillside-Hilltop Overlay District

Design Overlay District

Design Overlay District

Planning Area





PLANNING COMMISSION MEMO

TO: Fayetteville Planning Commission

THRU: Andrew Garner, City Planning Director

FROM: Quin Thompson, Current Planner
Corey Granderson, Staff Engineer

MEETING: ~~October 13, 2014~~ **UPDATED OCTOBER 15, 2014**

SUBJECT: **PPL 14-4790: Preliminary Plat (3090 OAKLAND ZION RD./PARKERMAN ESTATES, 257):** Submitted by BLEW & ASSOCIATES for property located at OAKLAND ZION RD. The property is in the FAYETTEVILLE PLANNING AREA and contains approximately 16.70 acres. The request is for an 8 lot single family subdivision.

RECOMMENDATION:

Staff recommends approval of **PPL 14-4790** with conditions.

BACKGROUND:

The subject property is located east of Oakland-Zion Road and contains approximately 16.7 acres within unincorporated Washington County. The property is outside of the Fayetteville City Limit, but within the one-mile planning area boundary, and therefore must meet all development requirements of the Unified Development Code related to street design and block length.

A proposed Master Street Plan (MSP) connection crosses this property, requiring that a 'Collector' street be constructed when this property is developed. A designated Collector street is required to be built with 59' of right-of-way, and a street section of 30', including sidewalk on two sides, curb & gutter, storm drains, and street lights in accordance with the MSP street section. A copy of the Collector and Local Street cross sections is attached.

On October 2, 2014 the Subdivision Committee forwarded this item to the full Planning Commission with a recommendation for approval of PPL 14-4790 with all conditions as indicated by staff in the report.

The surrounding zoning and land use is listed in *Table 1*.

Table 1
Surrounding Land Use and Zoning

Direction	Land Use	Zoning
North	Undeveloped/Agricultural	Washington County
South	Residential	Washington County
East	Undeveloped/Agricultural	Washington County
West	Undeveloped/ Residential	Washington County

Proposal: The applicant requests preliminary plat approval to create 8 residential lots and 2 lots for storm water detention.

Right-of-way (ROW) to be dedicated: Right-of-way dedication is required along the proposed Parkerman Downs in the amount of 59', Oaklawn Court in the amount of 43', and 43.5' from the centerline of Oakland-Zion Road, a Principal Arterial. Washington County requires a minimum of 60' ROW for public streets, which is proposed for the streets in this subdivision.

Water and Sewer System: Water lines will be extended through the property to provide access to each lot, prior to final plat approval. Sewer service is not provided to this area; homes will be served by septic systems. Washington County Health Department approvals must be provided for each lot prior to final plat.

Street Improvements: Oakland-Zion Road is an unimproved two lane road. No improvements required at this time for a small subdivision of eight lots.

Connectivity: The applicant is proposing road stub-outs to the east and north.

Tree Preservation: As noted herein, the property is in Washington County, therefore is not subject to tree preservation requirements.

Public Comment: Staff has not received any public comment.

RECOMMENDATION: Staff recommends approval of PPL 14-4790 with the following conditions of approval:

Conditions of Approval:

1. Planning Commission determination of a variance for sidewalk along one side of Parkerman Downs from Oakland-Zion to the west property boundary of Lot 7 where sidewalk on both sides is required. *Staff feels that sidewalk on both sides is not justified in this case due to the fact that the remaining sidewalk will be constructed when the property to the south is developed.*

SUBDIVISION COMMITTEE AGREED WITH STAFF RECOMMENDATION.

2. Planning Commission determination of an amendment to the Master Street Plan to downgrade a Collector street to a Local street. *In Staff's opinion, the amendment has not been justified by the applicant. Staff recommends denial of this request.*

PLANNING COMMISSION APPROVED THE REMOVAL OF THIS SECTION OF STREET FROM THE MASTER STREET PLAN.

SUBDIVISION COMMITTEE AGREED WITH STAFF RECOMMENDATION.

3. Planning Commission determination of a variance to the maximum block length requirement. *In Staff's opinion, the proposed street connections and block length are appropriate. Existing buildings and property dimensions make it difficult to provide useful connections in addition to those proposed.*

SUBDIVISION COMMITTEE AGREED WITH STAFF RECOMMENDATION.

4. Planning Commission determination of a variance for a dead-end street at Oaklawn Court. *In Staff's opinion, a dead-end street is justified in this location. Property to the south is developed with large homes and not likely to be subdivided in the future.*

SUBDIVISION COMMITTEE AGREED WITH STAFF RECOMMENDATION.

5. ROW shall be provided for Oaklawn Court as required by code. Private Streets/Access easements are not allowed.
6. Acceptable drainage and access easements shall be provided to Lot 10/Pond 1.
7. Washington County Health Department approval of septic system is required for each lot before final plat.
8. Washington County development approval is required prior to final plat or a letter of subdivision approval shall be provided.
9. All comments and recommended conditions from the Engineering Department, included herein, shall be met.
10. A sign indicating a future street connection and meeting City requirements shall be placed at the end of Parkerman Downs.

Standard conditions of approval:

11. Plat Review and Subdivision comments (to include written staff comments provided to the applicant or his representative, and all comments from utility representatives: AR Western Gas, SWBT, Ozarks, SWEPCO, Cox Communications).
12. Staff approval of final detailed plans, specifications and calculations (where applicable) for grading, drainage, water, sewer, fire protection, streets (public and private), sidewalks, parking lot(s) and tree preservation. The information submitted for the plat review process was reviewed for general concept only. All public improvements are subject to additional review and approval. All improvements shall comply with City's current requirements.
13. Preliminary Plat approval shall be valid for one calendar year. All building permits must be obtained within this period.

Planning Commission Action: Approved Forwarded Denied

Meeting Date: October 13, 2014

Motion: **WINSTON** **MOTION TO APPROVE AS RECOMMENDED BY
STAFF WITH THE EXCEPTION OF CONDITION #2,
WHICH WAS APPROVED.**

Second: **HONCHELL**

Vote: **7-1-0** **COMMISSIONER COOK VOTED 'NO'**

BUDGET/STAFF IMPACT:

None.

Attachments:

Staff comments

Site plans

Collector and Local Street Cross Sections

Maps

NOT FOR CONSTRUCTION ONLY

REVISIONS:

VICINITY MAP

Preliminary Plat

Parkerman Estates
Oakland Zion Road
Remington Place, Inc.
Po Box 10395
Fayetteville, AR 72703

BLUM & ASSOCIATES, PA
PLANNING ENGINEERS & LAND SURVEYORS
125 W. SULLY STREET, SUITE 4
FAYETTEVILLE, AR 72703
PHONE: 479-334-2200
FAX: 479-334-2200
WWW.BLAUMPA.COM

2014 08 06
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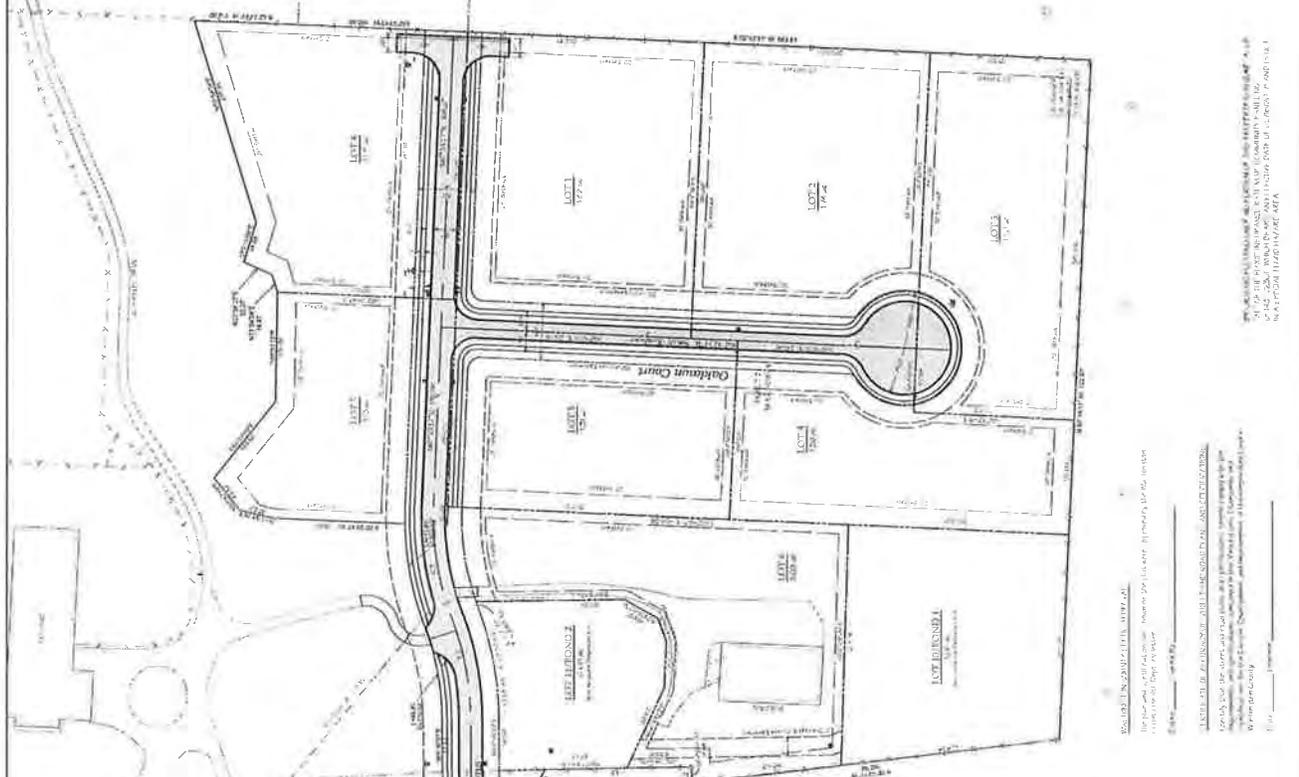
C2

Street Curve Table:

| Station |
|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|
| 0+00 | 0+00 | 0+00 | 0+00 | 0+00 | 0+00 | 0+00 | 0+00 | 0+00 | 0+00 |
| 0+00 | 0+00 | 0+00 | 0+00 | 0+00 | 0+00 | 0+00 | 0+00 | 0+00 | 0+00 |

811
Call before you dig

811
Call before you dig



Site General Notes:

- The proposed plat is based on the best available information.
- The proposed plat is based on the best available information.
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Proposed Features:

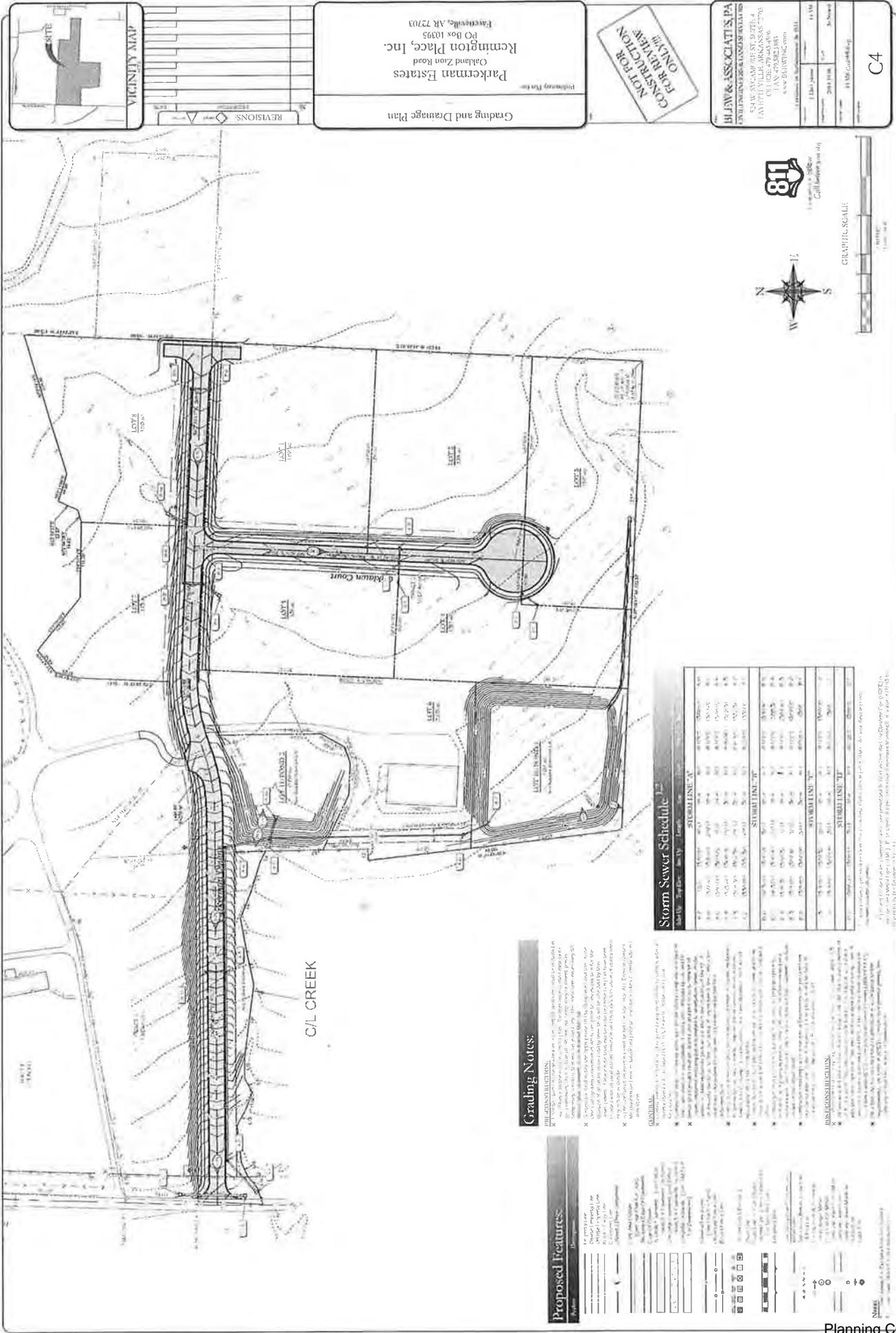
- Proposed Features

PLANNING COMMISSION

AGENDA ITEM 10

14-4790 PARKERMAN ESTATES

PAGE 5 OF 14



Storm Sewer Schedule

Station	Length	Material	Notes
1+00.00	100.00	12" STURM LINE "A"	12" STURM LINE "A" (100.00)
2+00.00	100.00	12" STURM LINE "A"	12" STURM LINE "A" (200.00)
3+00.00	100.00	12" STURM LINE "A"	12" STURM LINE "A" (300.00)
4+00.00	100.00	12" STURM LINE "A"	12" STURM LINE "A" (400.00)
5+00.00	100.00	12" STURM LINE "A"	12" STURM LINE "A" (500.00)
6+00.00	100.00	12" STURM LINE "A"	12" STURM LINE "A" (600.00)
7+00.00	100.00	12" STURM LINE "A"	12" STURM LINE "A" (700.00)
8+00.00	100.00	12" STURM LINE "A"	12" STURM LINE "A" (800.00)
9+00.00	100.00	12" STURM LINE "A"	12" STURM LINE "A" (900.00)
10+00.00	100.00	12" STURM LINE "A"	12" STURM LINE "A" (1000.00)

Grading Notes:

- 1. All elevations are in feet unless otherwise noted.
- 2. All dimensions are in feet unless otherwise noted.
- 3. All slopes are as shown unless otherwise noted.
- 4. All structures are to be constructed in accordance with the applicable code.
- 5. All structures are to be constructed in accordance with the applicable code.
- 6. All structures are to be constructed in accordance with the applicable code.
- 7. All structures are to be constructed in accordance with the applicable code.
- 8. All structures are to be constructed in accordance with the applicable code.
- 9. All structures are to be constructed in accordance with the applicable code.
- 10. All structures are to be constructed in accordance with the applicable code.

Proposed Features:

Symbol	Description
(Symbol)	Proposed Storm Sewer Line
(Symbol)	Proposed Storm Water Pond
(Symbol)	Proposed Storm Water Inlet
(Symbol)	Proposed Storm Water Outlet
(Symbol)	Proposed Storm Water Valve
(Symbol)	Proposed Storm Water Manhole
(Symbol)	Proposed Storm Water Catchment Basin
(Symbol)	Proposed Storm Water Filter
(Symbol)	Proposed Storm Water Sedimentation Basin
(Symbol)	Proposed Storm Water Treatment Basin
(Symbol)	Proposed Storm Water Storage Basin
(Symbol)	Proposed Storm Water Distribution Basin
(Symbol)	Proposed Storm Water Collection Basin
(Symbol)	Proposed Storm Water Conveyance Basin
(Symbol)	Proposed Storm Water Discharge Basin
(Symbol)	Proposed Storm Water Treatment Plant
(Symbol)	Proposed Storm Water Treatment Facility
(Symbol)	Proposed Storm Water Treatment Plant
(Symbol)	Proposed Storm Water Treatment Facility
(Symbol)	Proposed Storm Water Treatment Plant
(Symbol)	Proposed Storm Water Treatment Facility

NAME: _____
 TITLE: _____
 DATE: _____



REVISIONS

No.	Date	Description

Erosion Control Plan

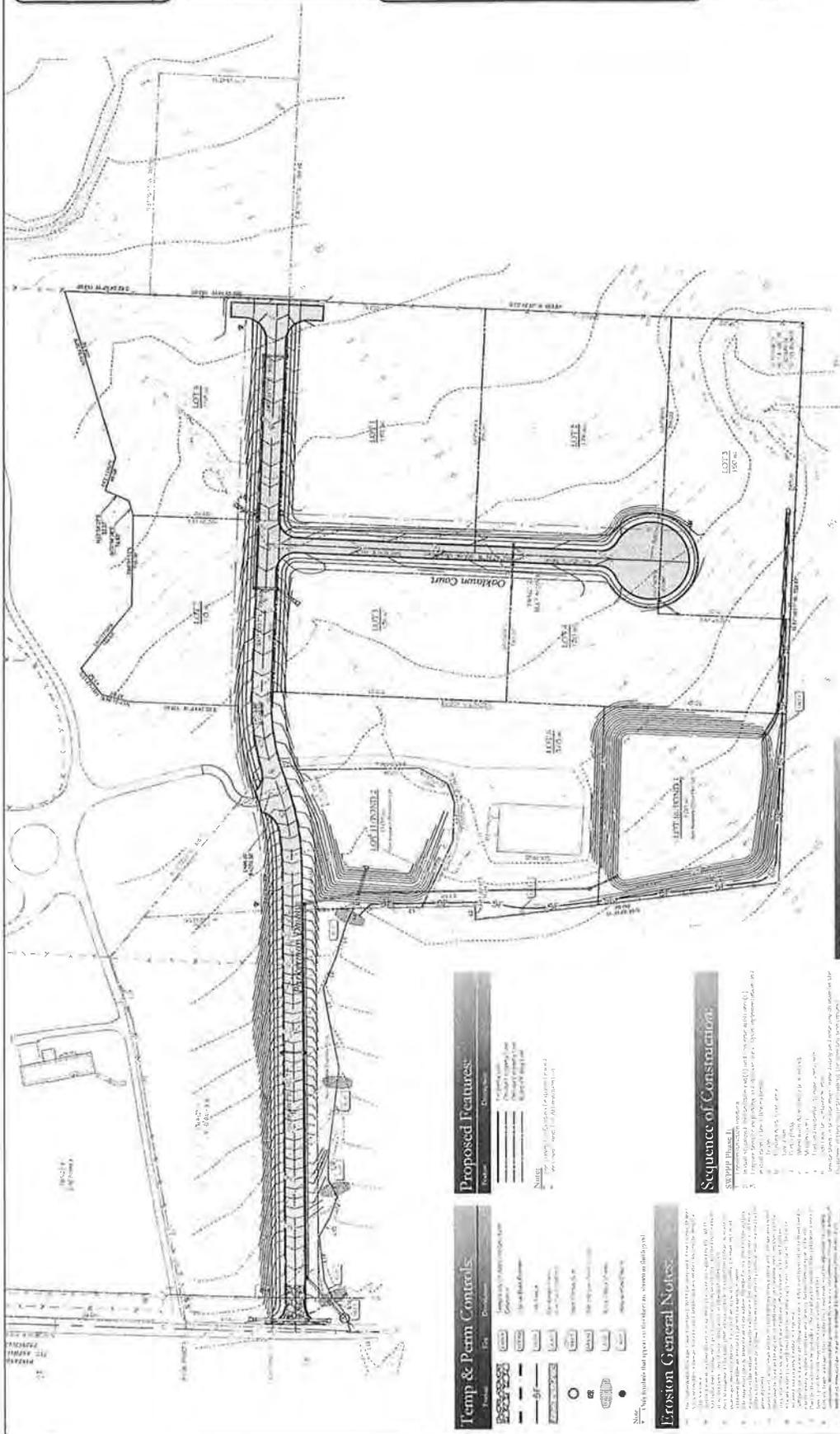
Parkerman Estates
 Oakland Zion Road
 Remington Place, Inc.
 PO Box 10395
 Fayetteville, AR 72703

NOT FOR CONSTRUCTION FOR REFERENCE ONLY

HILJEW & ASSOCIATES, P.A.
 CIVIL ENGINEERS & ARCHITECTS
 524 W. Sycamore Street, Suite 4
 Fayetteville, Arkansas 72701
 Phone: 479-582-1885
 Fax: 479-582-1883
 www.hiljew.com

Project No. 13129
 Date: 08/14/14
 Scale: AS SHOWN
 Project: Parkerman Estates

C3



811
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 811.org

GRAPHIC SCALE
 1" = 100'

Maintenance

1. The contractor shall be responsible for maintaining all erosion control measures in place until the project is complete and the site is stabilized. Erosion control measures shall be inspected and maintained at least once per week during the construction period.

2. The contractor shall be responsible for maintaining all erosion control measures in place until the project is complete and the site is stabilized. Erosion control measures shall be inspected and maintained at least once per week during the construction period.

3. The contractor shall be responsible for maintaining all erosion control measures in place until the project is complete and the site is stabilized. Erosion control measures shall be inspected and maintained at least once per week during the construction period.

Proposed Features

Symbol	Description

Sequence of Construction

SWPPP Phase I

1. Clear and grub site.
2. Install silt fence along all perimeter of site.
3. Install silt fence along all perimeter of site.
4. Install silt fence along all perimeter of site.
5. Install silt fence along all perimeter of site.
6. Install silt fence along all perimeter of site.
7. Install silt fence along all perimeter of site.
8. Install silt fence along all perimeter of site.

Erosion Control Notes

1. All erosion control measures shall be installed and maintained in accordance with the approved SWPPP.

2. All erosion control measures shall be installed and maintained in accordance with the approved SWPPP.

3. All erosion control measures shall be installed and maintained in accordance with the approved SWPPP.



Date: October 7, 2014

Planning Commission Staff Memo

To: Quin Thompson, Planner

From: Corey Granderson
Staff Engineer

Re: Plat Review Comments

Development: PPL 14-4790 Parkerman Estates

Engineer: Blew & Associates

Standard Comments:

1. All designs are subject to the City's latest design criteria (water, sewer, streets and drainage). Review for plat approval is not approval of public improvements, and all proposed improvements are subject to further review at the time construction plans are submitted.
2. Water and sewer impact fees will apply for the additional impact to the system. The fees will be based on the proposed meter size and will be charged at the time of meter set.

Plan comments:

1. Prior to Final Plat approval, provide state/county health department approval of septic for each buildable lot in subdivision.
2. ADA ramps required at all sides of T-intersection, at cul-de-sac throat, and at 'hammerhead' turn around area.
3. Sidewalk should be constructed such that back of sidewalk is in line with r/w line.
4. Any public drainage that flows through private property must be within a drainage easement.
 - a. Flared end section D-1 will need downstream drainage easements to convey flow from the public street.
 - b. Lot 5 and 6 will need proper drainage easements per this comment.
5. Grade 1FT flat behind all sidewalks before tie-in-grading.
6. At construction level review, capacity of channel downstream of flared end sections A-1 and H-1 will need to be analyzed for scour/erosion and capacity. Additional drainage improvements may be necessary at that time to not exacerbate any existing downstream problems.
7. Utility plan comments have not been addressed from Technical Plat Review. Please address these at construction level submittal.
8. The updated drainage report with this submittal appears to be an improvement to the downstream neighboring properties. However, this was accomplished by significant changes in the design and therefore a detailed design review will be done at construction-level.
 - a. Please update the POST development drainage area map to make more legible and verify that the drainage areas coordinate with the new double pond configuration.

Standard Construction Comments:

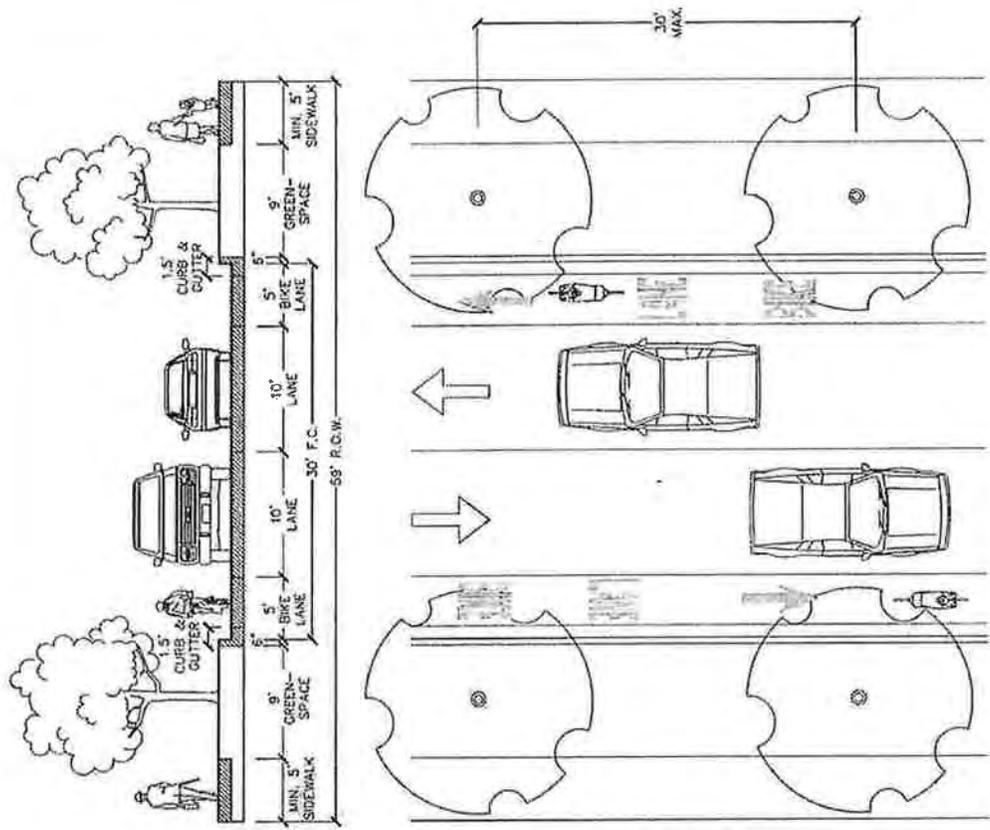
1. The engineer of record shall provide “Full Time” inspection for utilities and “Part Time” inspection for the storm drainage and roadway construction for this project. The engineer of record shall also review and approve material submittals (approved submittals shall be submitted to the City for concurrence before material is ordered).
2. Weekly inspection reports should be submitted to the City of Fayetteville’s public works inspector along with all applicable reporting forms from section 6200 of the water and sewer specifications.
3. All materials and performance testing results (drainage, roadway, geotechnical, water/sewer testing, compaction, density, compressive strength, etc.) should be submitted to the City of Fayetteville’s public works inspector.
4. 2012 Standard Water & Sanitary Sewer Specifications & Details apply. (Document available at www.accessfayetteville.org/government/engineering)
5. Demolition shall not begin until the appropriate erosion control measures and required tree preservation fencing are installed.
6. Prior to **Project Acceptance** (Final Plat, Certificate of Occupancy, or Temporary Certificate of Occupancy) the following items must be performed or provided to the satisfaction of the Engineering Department:
 - a. The work shown on the civil site package must be complete and the items on the final punch list completed.
 - b. Vegetation must be established in accordance with Section 169.06 of the UDC and perimeter controls removed.
 - c. One (1) set of as-built drawings of the complete project (excluding details) as a hard copy and in Tiff or PDF format;
 - i. Public infrastructure and services shall be surveyed after installation in relation to easements, property lines, and rights-of-way.
 1. More than 2 ft deviation of design alignment of shall require new easement dedication or adjustment of the utility/storm drain.
 - ii. Sanitary Sewer, and Storm Drainage (Including Private) elevations must be verified and updated. (Elevations out of design tolerance must be corrected)
 - iii. Street Centerline, Width, Profiles and Cross slopes shall be verified.
 1. More than 6 inches deviation of design alignment of shall require new right of way dedication or adjustment of the street section.
 - iv. Professional surveyor shall provide stamp drawings specifically identifying the limits of as-built survey performed.
 - v. Adequate verification survey to confirm accuracy of drainage report.
 - d. Unit price construction costs for review and approval and a single 2 year maintenance bonds in the amount of 25% of the public improvements;
 - e. Certification that the streets, sidewalk, storm sewer, water, fire line, and sewer lines, etc., were installed per approved plans and City of Fayetteville requirements;
 - i. Provide all Inspection Reports; approved submittals; Data Forms from Utility Specifications (Including Consultants sewer TV report); compaction test results, etc...
 - f. Certification that the designed retaining walls were installed per approved plans and City of Fayetteville requirements(Inspection and Testing Reports required);
 - g. Cross Sections, Volume Calculations, and Certification Retention/Detention Ponds are in accordance with the approved Drainage Report.
 - h. Surveyor’s Certification of Compliance for monuments and property pins.

- i. The As- Built Final Drainage Report in PDF format updated per as-built invert, slope, inlet opening, road profile, cross slope, etc...
- j. Cross Sections, contours, spot elevations, and Certification that the site has been graded per the approved MRLGP within the right of way, drainage easements, and utility easements.

EXHIBIT B

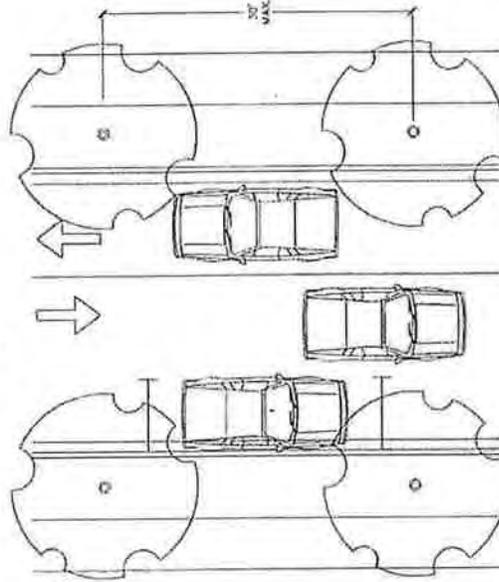
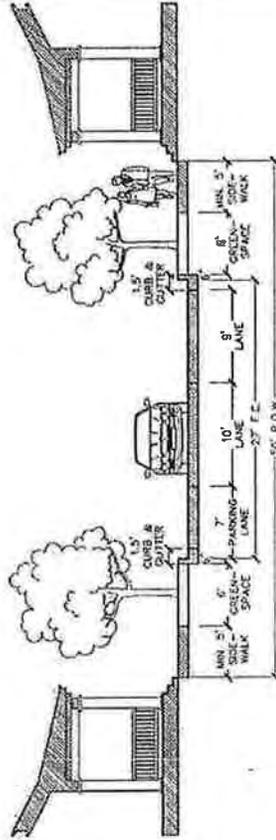
4d COLLECTOR (WITH BICYCLE LANES):

- Design Service Volume:**
 - < 4,000 vpd,
 - < 6000 vpd
- Desired Operating Speed:** 25-30 mph
- Travel Lanes:** Two 10' motorist lanes
- Turn Lane:** None
- Bicycle Lanes:** 5' wide, both sides of street against curb
- Parking:** None
- Paved Width:** 30' from face of curb
- Right of Way Sidewalks:** 59' Both sides of street, min. 5' wide, located in R.O.W. at R.O.W. line.
- Greenspace:** Both sides of street, min. 9' wide



12.2.3 LOCAL STREETS

LOCAL STREETS provide for a moderate level of traffic flow and service. They provide access to abutting land uses and provide connections to higher order street classifications. Local Urban streets are encouraged in City Neighborhood and Urban Center areas as depicted on the Future Land Use Map. Local Urban Streets are also appropriate for areas that may function as a main street for a neighborhood, offering mixed uses and a pedestrian-friendly environment. LOCAL STREETS have a low to medium level of access management, with curb cuts permitted every 50 feet.



3a LOCAL:

Design Service Volume: **< 4,000 VPH**
 Desired Operating Speed:
 Travel Lanes:

- 20-25 mph
- One 10' lane,
- One 9' lane
- One 7' lane

Parking:
 Paved Width:
 Right of Way:
 Sidewalks:

- 27' from face of curb
- 50'

Both sides of street, min. 5' wide, located in R.O.W. at R.O.W. line
 Both sides of street, min. 6' wide.
 May be widened to facilitate Low-Impact Development techniques, subject to approval by City Engineer.

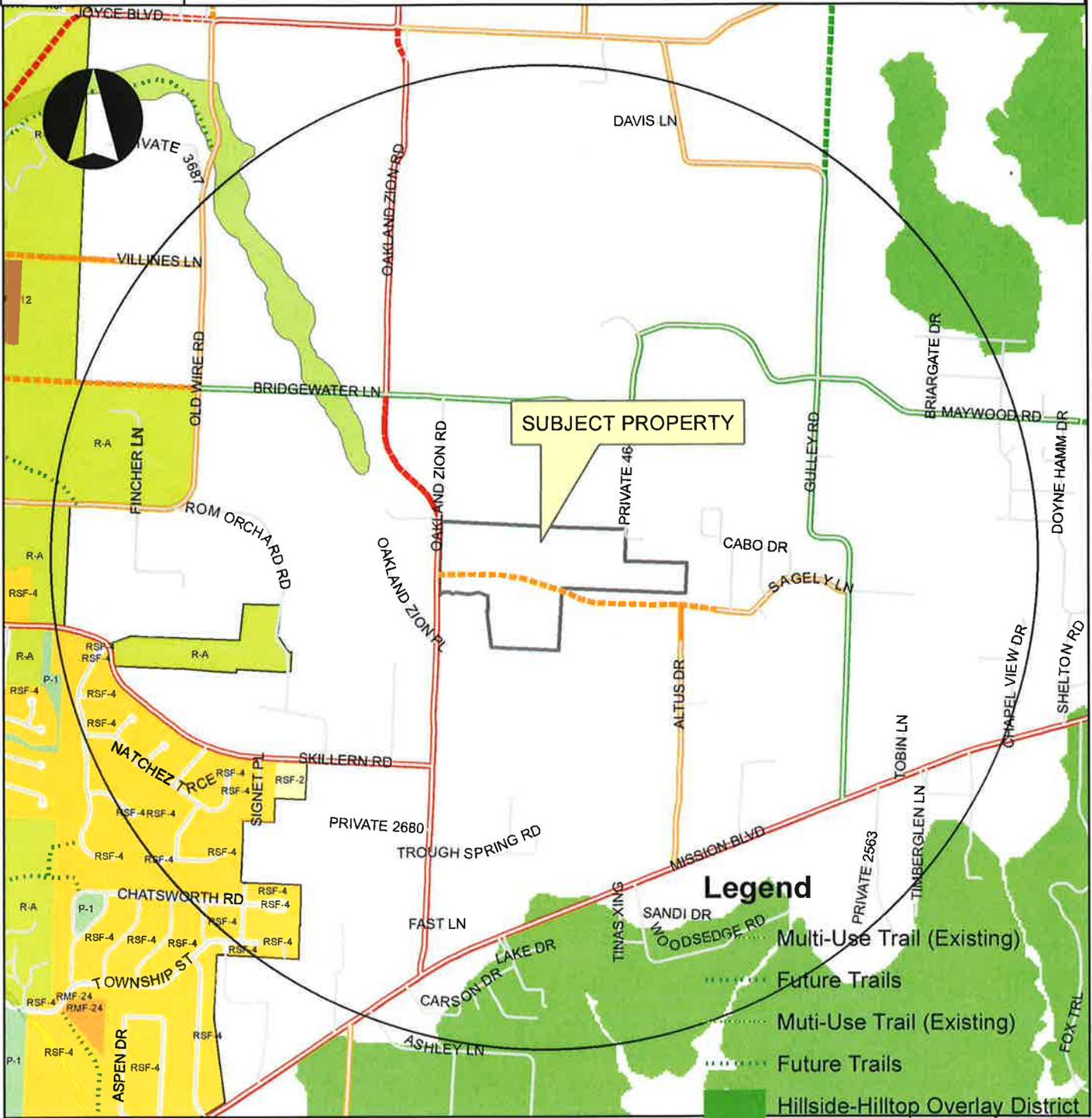
Greenspace:

* ST 45 may substitute for local street cross-section in an urban condition.

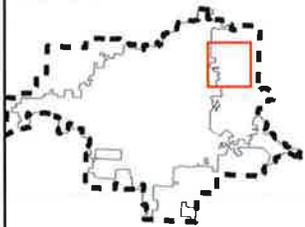
PPL14-4790

PARKERMAN ESTATES

One Mile View



Overview



Legend

Subject Property

PPL14-4790

Boundary

PPL 14-4790

Design Overlay District

Planning Area

Fayetteville

0 0.25 0.5

1

Miles

Planning Commission

October 13, 2014

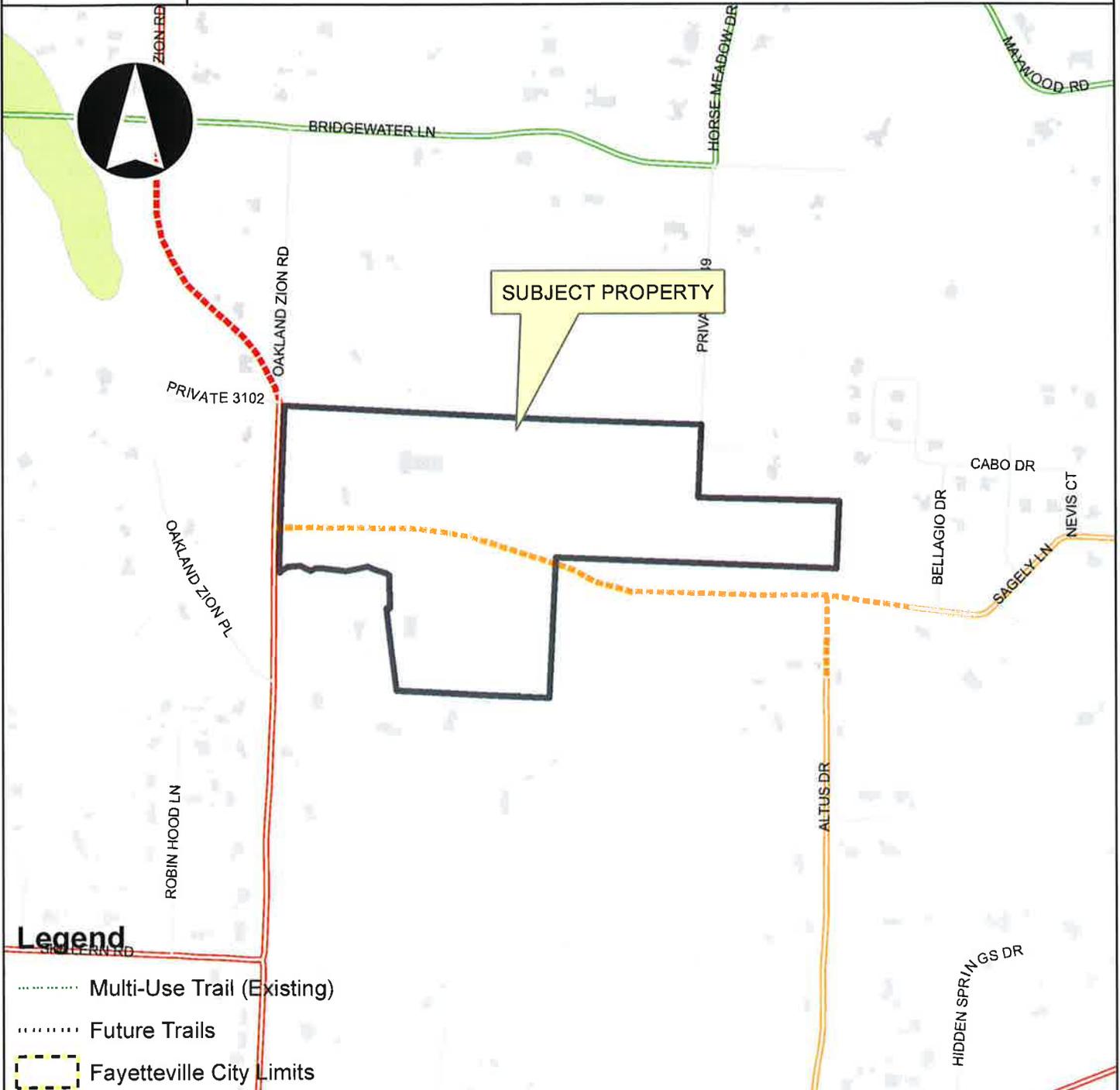
Agenda Item 10

14-4790 Parkerman Estates

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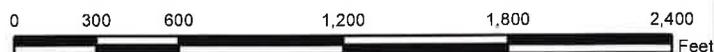
PARKERMAN ESTATES

Close Up View



Legend

- Multi-Use Trail (Existing)
- Future Trails
- Fayetteville City Limits
- Overview PPL14-4790
- Footprints 2010
- Hillside-Hilltop Overlay District
- Design Overlay District
- Design Overlay District
- Planning Area



RESOLUTION NO.

A RESOLUTION AMENDING THE MASTER STREET PLAN REMOVING THE SECTION OF FUTURE COLLECTOR STREET BETWEEN OAKLAND ZION ROAD AND ALTUS DRIVE, AS DESCRIBED AND DEPICTED IN THE ATTACHED MAP.

WHEREAS, the Parkerman Estates subdivision is extending a new local street into and through its site to provide eventual street connectivity between Oakland Zion Road and Altus Drive as presented and approved in PPL 14-4790 by the Planning Commission; and

WHEREAS, the City Council finds that the extension of a new local street between Oakland Zion Road Altus Drive as indicated in the attached maps maintains the intent of the Master Street Plan for connectivity, while providing a street cross section that is more compatible with the rural residential context than a Collector street; and

WHEREAS, the addition of a new local street as proposed is adequate for connectivity, traffic flow, and safety given the existing and anticipated low density of this area of unincorporated Washington County.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FAYETTEVILLE, ARKANSAS:

Section 1. That the City Council of the City of Fayetteville, Arkansas hereby amends the Master Street Plan as indicated in Exhibit "A," attached hereto and made a part hereof.

PASSED and **APPROVED** this day of , 2014.

APPROVED:

ATTEST:

By: _____
LIONELD JORDAN, Mayor

By: _____
SONDRA E. SMITH, City Clerk/Treasurer



City of Fayetteville, Arkansas

113 West Mountain Street
Fayetteville, AR 72701
479-575-8323 TDD -
479-521-1316

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A RESOLUTION AMENDING THE MASTER STREET PLAN BY REMOVING THE SECTION OF FUTURE COLLECTOR STREET BETWEEN OAKLAND ZION ROAD AND ALTUS DRIVE, AS DESCRIBED AND DEPICTED IN THE ATTACHED MAP.

WHEREAS, the Parkerman Estates subdivision is extending a new local street into and through its site to provide eventual street connectivity between Oakland Zion Road and Altus Drive as presented and approved in PPL 14-4790 by the Planning Commission; and

WHEREAS, the City Council finds that the extension of a new local street between Oakland Zion Road and Altus Drive as indicated in the attached maps maintains the intent of the Master Street Plan for connectivity, while providing a street cross section that is more compatible with the rural residential context than a Collector street; and

WHEREAS, the addition of a new local street as proposed is adequate for connectivity, traffic flow, and safety given the existing and anticipated low density of this area of unincorporated Washington County.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FAYETTEVILLE, ARKANSAS:

Section 1. That the City Council of the City of Fayetteville, Arkansas hereby amends the Master Street Plan as indicated in Exhibit "A," attached hereto and made a part hereof.